

COSTE, INC

300 WESLEY AVENUE

COSTE, INC
300 WESLEY AVENUE
LOT: 13 BLOCK: 306
OCEAN CITY, NEW JERSEY

TITLE SHEET

THOMAS / BECHTOLD
ARCHITECTURE & ENGINEERING

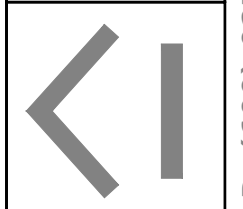
Andrew Bechtold
17642

F. (609) 927-3330

WWW.GWTHOMAS.NET

P. (609) 927-5050

599 SHORE ROAD SOMERS POINT NEW JERSEY



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Revisions:
2-24-26
3-3-26
4-6-26

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1-20-26

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T-1

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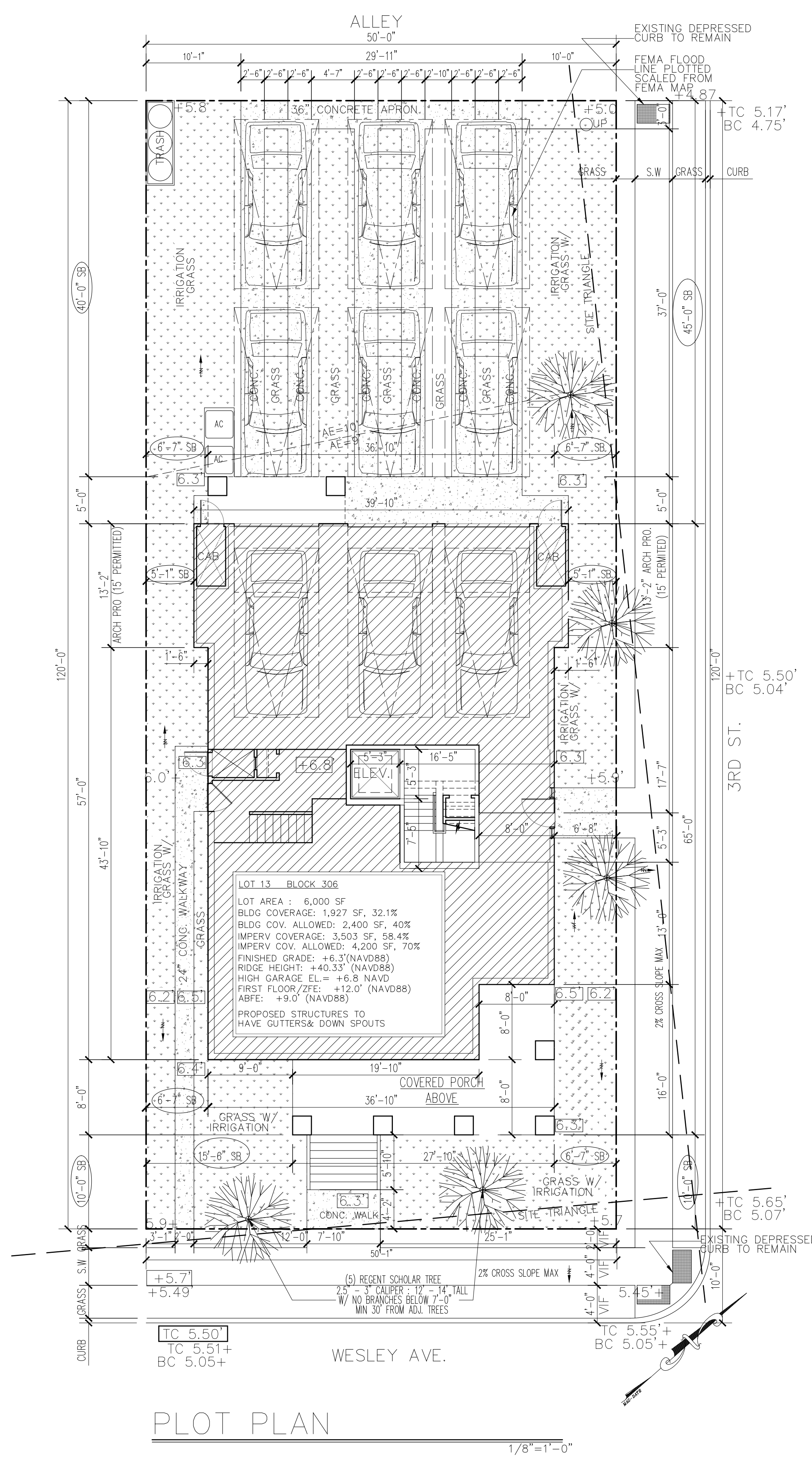


WESLEY AVENUE ELEVATION

Permit Plans

January 20, 2026

Revised April 06, 2026



NOTE
SIDEWALKS AND DRIVEWAYS SHALL HAVE A MINIMUM CONCRETE THICKNESS OF 4", EXCEPT WHERE THE SIDEWALK IS PART OF A DRIVEWAY IN WHICH CASE THE MINIMUM CONCRETE THICKNESS SHALL BE 6". MINIMUM SIDEWALK WIDTH SHALL BE 6' EXCEPT IN THOSE BLOCKS OR AREAS WHERE PARTIALLY DEVELOPED SIDEWALKS OF LESSER OR GREATER WIDTHS EXIST.

THAT PORTION OF THE DRIVEWAY FROM THE INTERIOR PROPERTY LINE TO THE STREET SHALL HAVE A MINIMUM THICKNESS OF 6" AND SHALL BE CONSTRUCTED OF CONCRETE. ALL DRIVEWAYS SHALL BE REINFORCED WITH WELDED WIRE FABRIC (MIN. 6X6), FIBERMESH, OR AN EQUIVALENT APPROVED BY THE CITY ENGINEER OR HIS DESIGNER.

EXPANSION JOINTS SHALL BE INSTALLED AT INTERVALS NOT EXCEEDING 20'. PREFORMED BITUMINOUS CELLULAR JOINT FILLERS 3/4" THICK SHALL BE PLACED IN THE EXPANSION JOINTS. FORMED JOINTS SHALL BE CUT INTO THE CONCRETE SIDEWALK BETWEEN THE EXPANSION JOINTS AT EQUAL INTERVALS NOT EXCEEDING WITH WIDTH OF THE SIDEWALK.

BUILDING DATA	
2021 INTERNATIONAL RESIDENTIAL CODE, NJ EDITION	
USE GROUP = R5	
CONSTRUCTION TYPE = 5B DCA	
TOTAL BUILDING SF = 3,794 SF	
TOTAL STRUCTURAL VOLUME = 55,962 CF	
BUILDING COVER (Not Impervious) = 2,435 SF	
FLOOD ZONE = AE	
ABFE = +9' NAVD 88	

LIST OF DRAWINGS		
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1-20-26	D-116B	CUSTOM DETAIL SHEET
9-29-25	FR15	WOOD FRAMING CONSTRUCTION MANUAL DETAILS
8-29-22	TJ/HD	TJ DETAIL SHEET
8-29-22	FS-1	FIRE STOPPING DETAILS



- BRICK VENEER
- CHIMNEY
- RIDGE VENT W/ SHINGLE CAP
- 30 YEAR ASPHALT ROOFING SHINGLES
- 1x4 AZEK TRIM OVER 1x8 AZEK FASCIA
- REAL CEDAR SHAKE
- STANDING SEAM METAL ROOF
- 6 PCS. AZEK WINDOW TRIMS W/ HEADER W/ CROWN, SIDES, SILLS & APRONS
- W/MINCO WINDOWS W/ TRUE DIVIDED LITES
- 2 1/2 x 2 1/2 W/ 2x WIDTH BALUSTERS W/ DECORATIVE CHIPPENDALE ALL WHITE W/ MAHOGANY CAP
- CUTTERS & DOWNSPOUTS 1/2 ROUND W/ ROUND LEADERS
- 16" SQ. AZEK COLUMNS
- HARDIE CLAP SIDING
- MAHOGANY CEILINGS (TYP.)
- THERMA-TRU SMOOTH-STAR DOORS
- 16" SQ. AZEK COLUMNS
- 1" x 12" AZEK SKIRT BOARD
- REAL BRICK @ PIERS TYP.
- INTEX LATTICE

FRONT ELEVATION

NOTE: ALL WINDOWS MORE THAN 6'-0" ABOVE GRADE. DECKS OR PORCHES MUST HAVE SILLS 24 IN. AFF

RIGHT SIDE ELEVATION

NOTE: ALL WINDOWS MORE THAN 6'-0" ABOVE GRADE. DECKS OR PORCHES MUST HAVE SILLS 24 IN. AFF



- RIDGE VENT W/ SHINGLE CAP
- 30 YEAR ASPHALT ROOFING SHINGLES
- 1x4 AZEK TRIM OVER 1x8 AZEK FASCIA
- REAL CEDAR SHAKE
- 14" TO RTD. MAX.
- HARDIE CLAP SIDING
- 6 PCS. AZEK WINDOW TRIMS W/ HEADER W/ CROWN, SIDES, SILLS & APRONS
- W/MINCO WINDOWS W/ TRUE DIVIDED LITES
- MAHOGANY CEILING
- 16" SQ. AZEK COLUMNS
- 2 1/2 x 2 1/2 W/ 2x WIDTH BALUSTERS W/ DECORATIVE CHIPPENDALE ALL WHITE W/ MAHOGANY CAP
- 16" SQ. AZEK COLUMNS

REAR ELEVATION

NOTE: ALL WINDOWS MORE THAN 6'-0" ABOVE GRADE. DECKS OR PORCHES MUST HAVE SILLS 24 IN. AFF

LEFT SIDE ELEVATION

NOTE: ALL WINDOWS MORE THAN 6'-0" ABOVE GRADE. DECKS OR PORCHES MUST HAVE SILLS 24 IN. AFF

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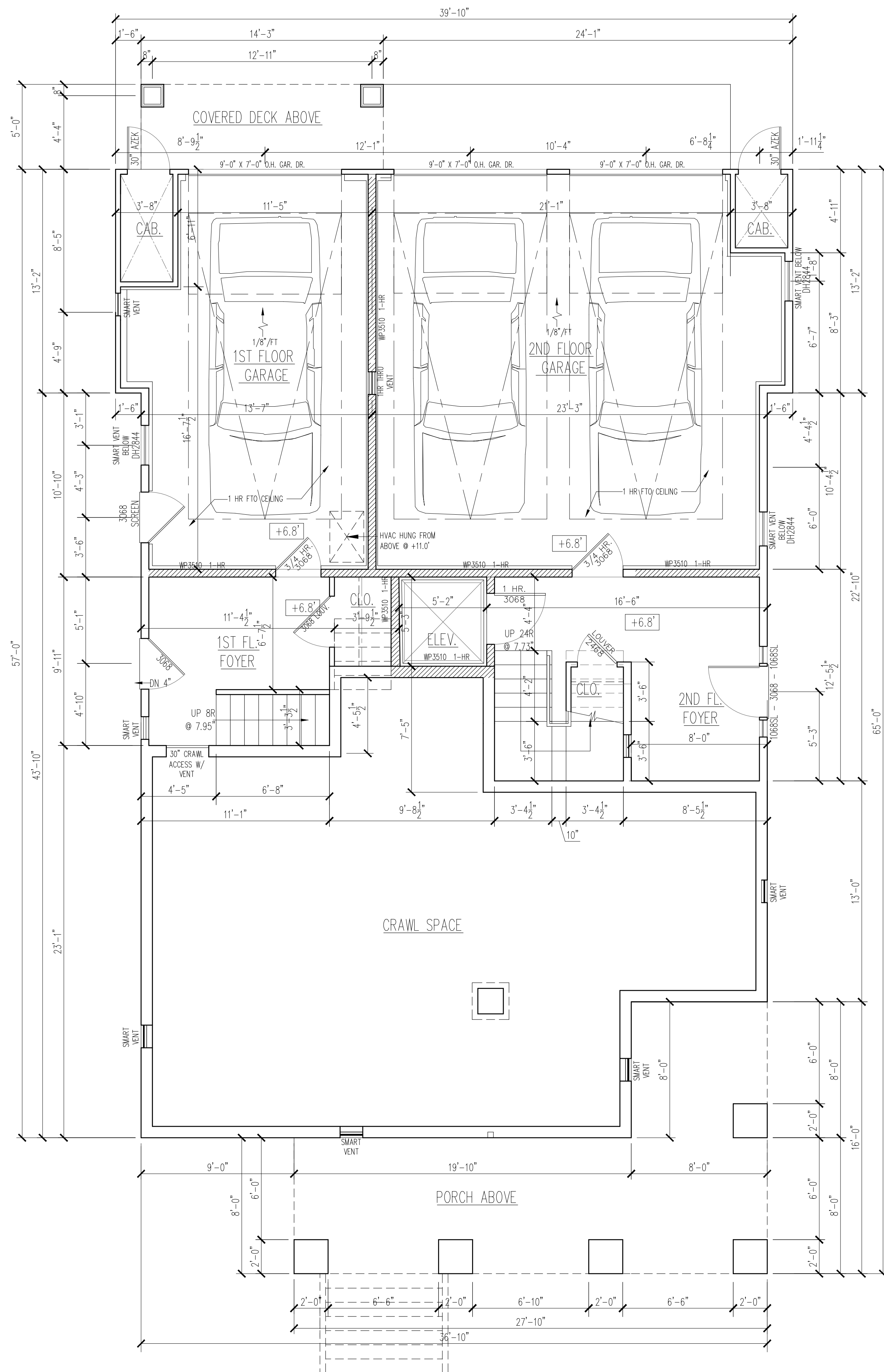
ELEVATIONS

THOMAS / BECHTOLD
ARCHITECTURE & ENGINEERING
F. (609) 927-3330
WWW.GWTHOMAS.NET
P. (609) 927-5050
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Andrew Bechtold
17642

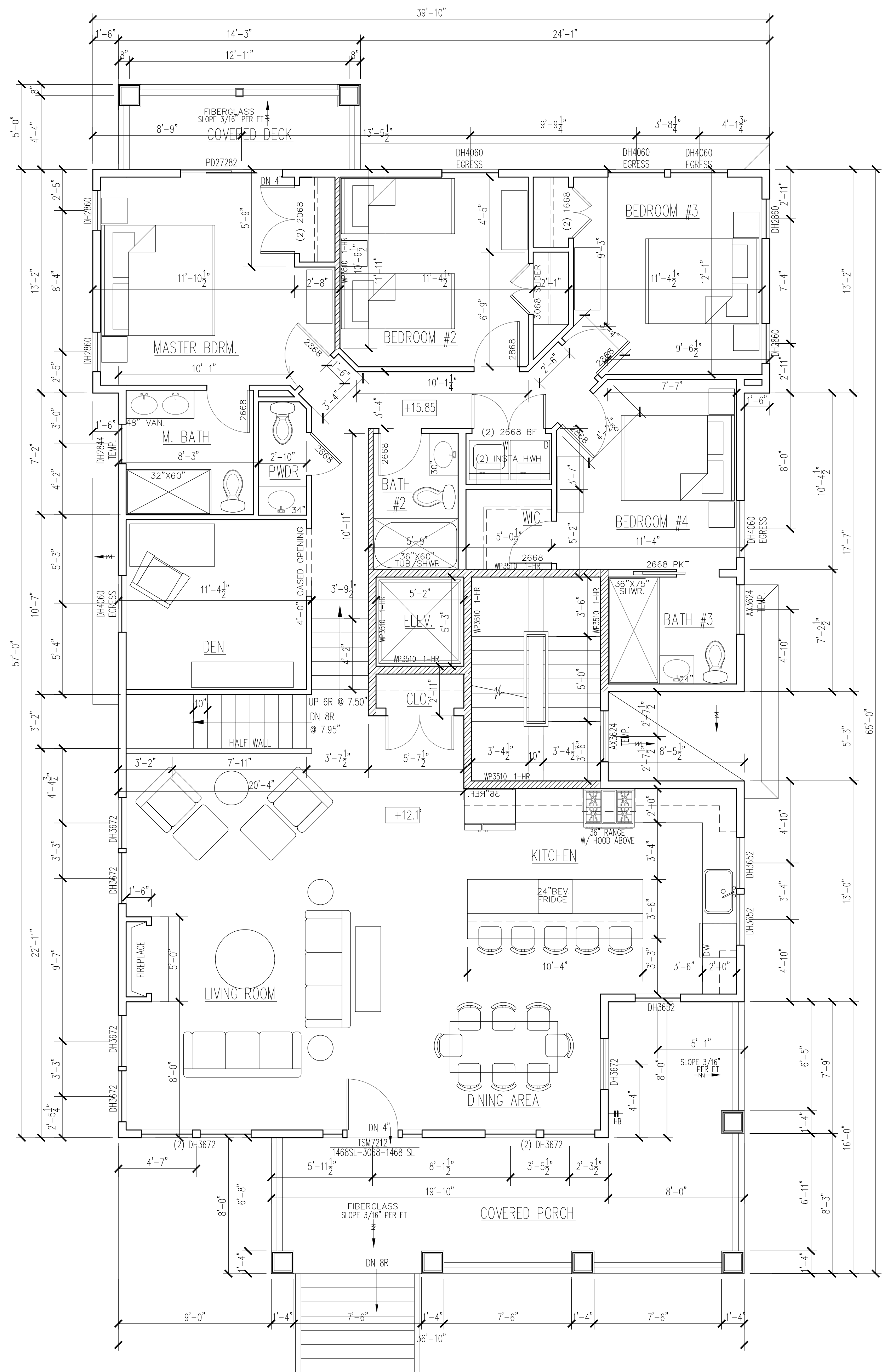
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Revisions:

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GROUND FLOOR PLAN



FIRST FLOOR PLAN

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 OCEAN CITY, NEW JERSEY

GROUND & FIRST
 ARCHITECTURAL
 FLOOR PLANS

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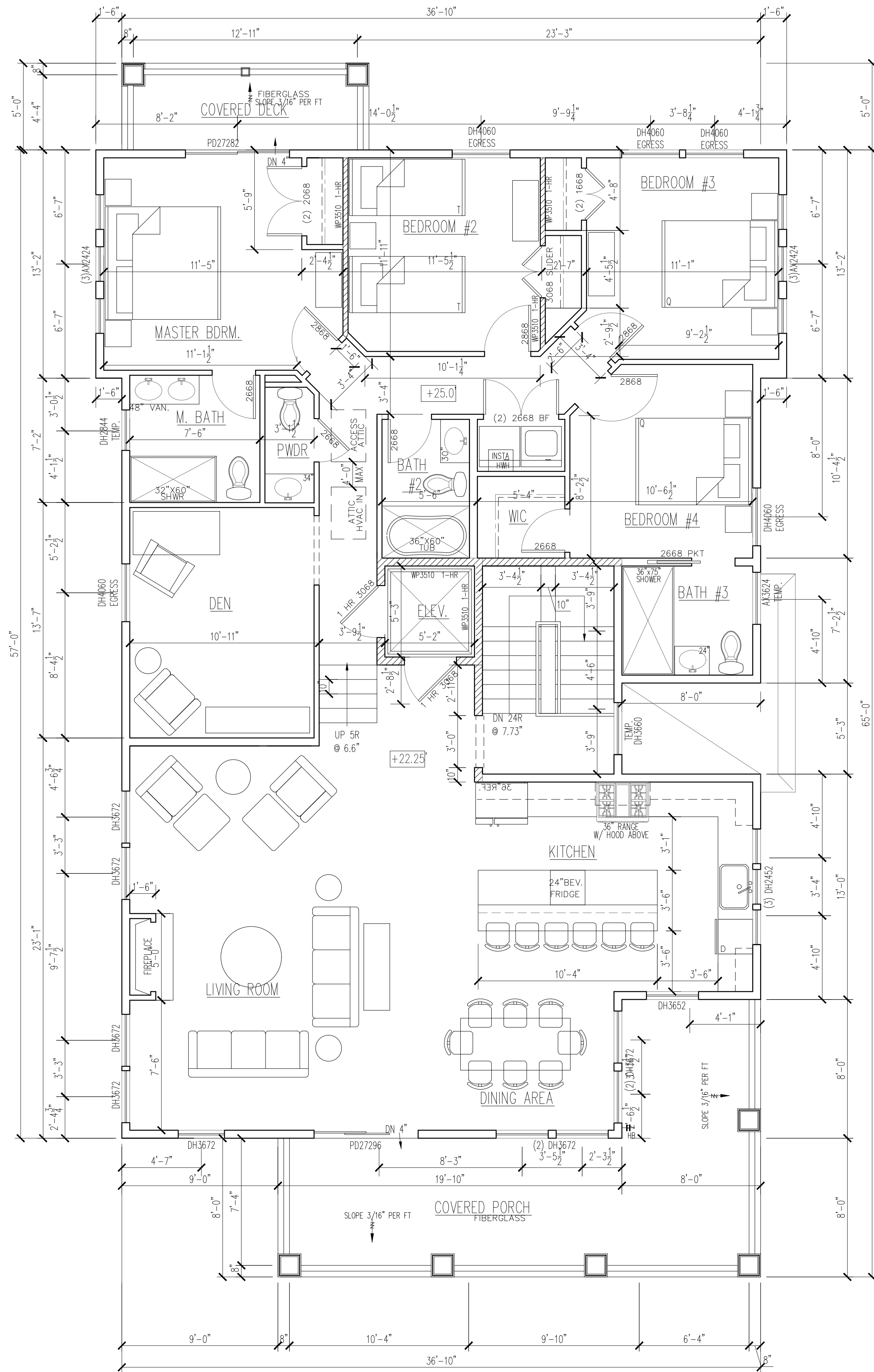
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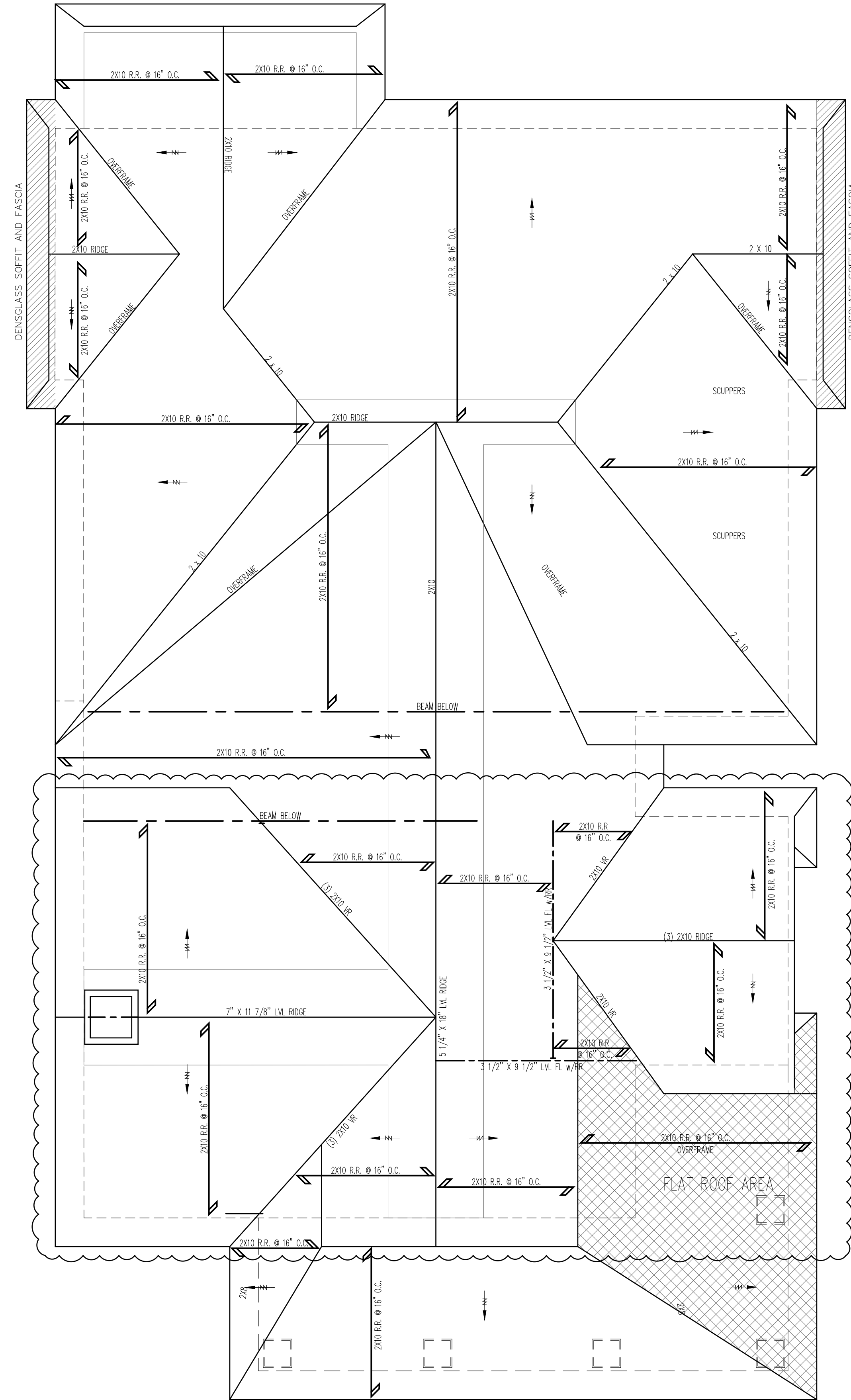
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SECOND FLOOR PLAN

NOTE: FLOOR TO BE GREEN GLUED AND SCREWED TYPICAL ALL FLOORS
 NOTE: ALL BATH R.M.S AND SHOWERS TO HAVE 1" TOILETS AND RAIN & HAND HELD FIXTURES
 NOTE: ALL BATH R.M.S TO HAVE TOWEL BARS

1,897 SF



ROOF PLAN

NOTE: ALL PT LUMBER 6"-0" OR MORE ABOVE GRADE SHALL HAVE FIELD APPLIED COATING MANUFACTURE NO-BURN
 155 SF/300=52 SF X 144= 74.4/65= 1.14= (2) GAF EACH 8"x16" SOFFIT VENTS
 TOTAL= 2 VENTS X 128 = 256 SF/144= 1.78 SF/169.02= 1% OF SOFFITS TO BE VENTED

FLAT ROOF=198 SF 7% OF ROOF AREA (2,658 SF)
 LESS THAN A=4 ON 12 PITCH

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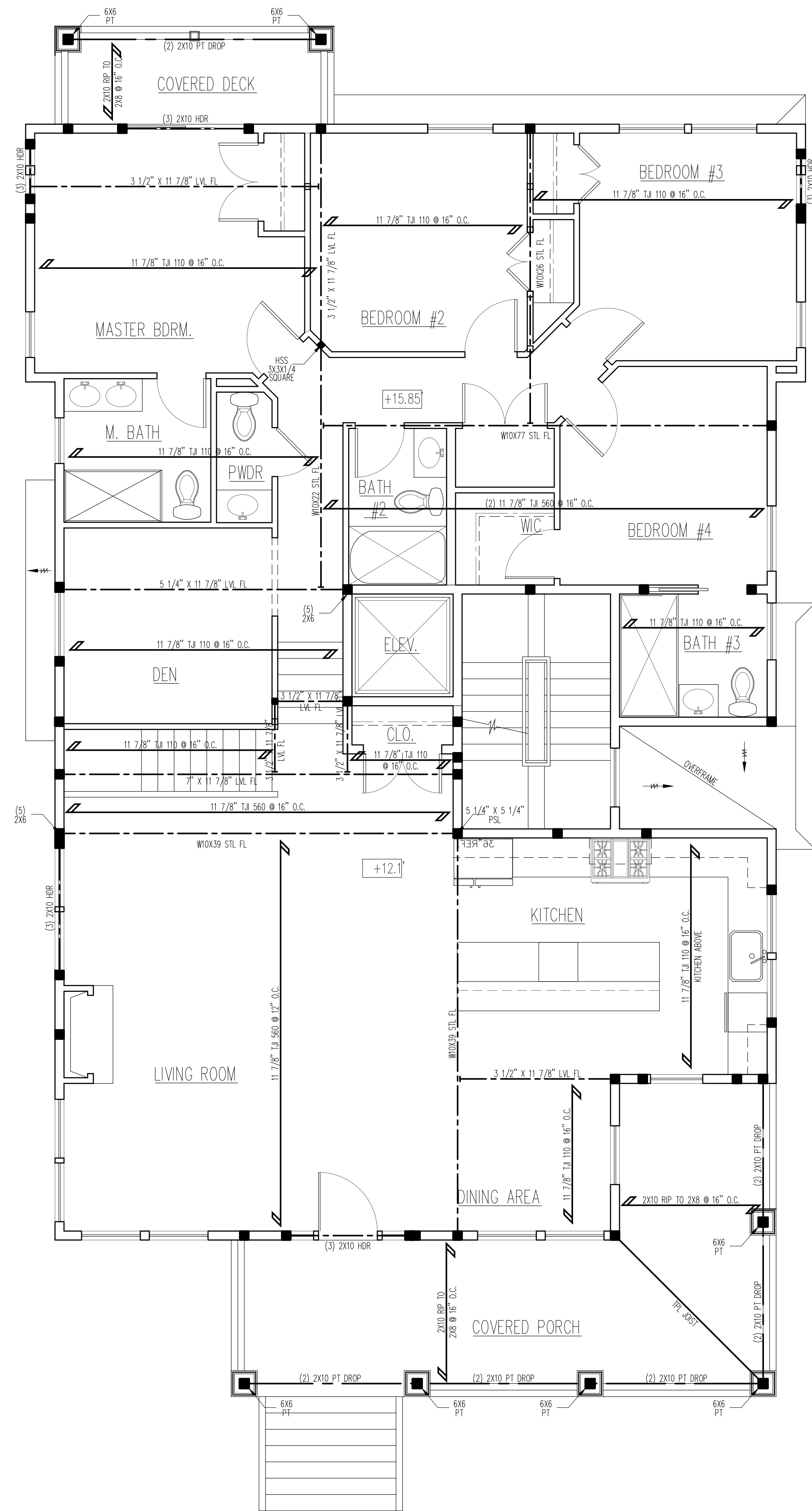
**SECOND FLOOR
 ARCHITECTURAL
 & ROOF PLANS**

THOMAS / BECHTOLD
 ARCHITECTURE & ENGINEERING
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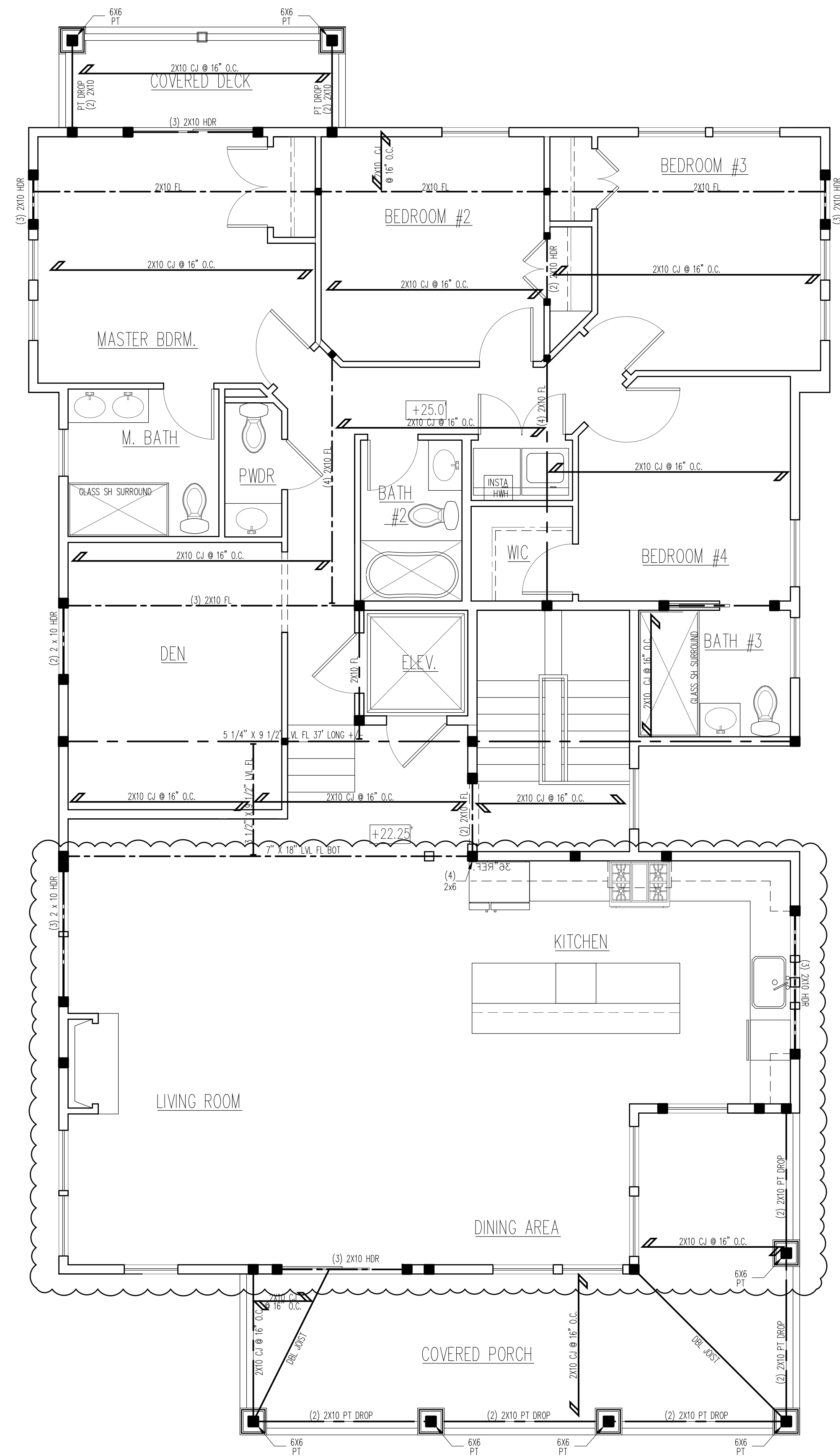
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FIRST FLOOR PLAN

POST LEGEND	
	POST FROM ABOVE
	MIN (3) 2X WALL THICKNESS UNLESS OTHERWISE NOTED



SECOND FLOOR PLAN

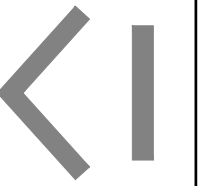
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FIRST & SECOND
FLOOR STRUCTURAL
PLAN

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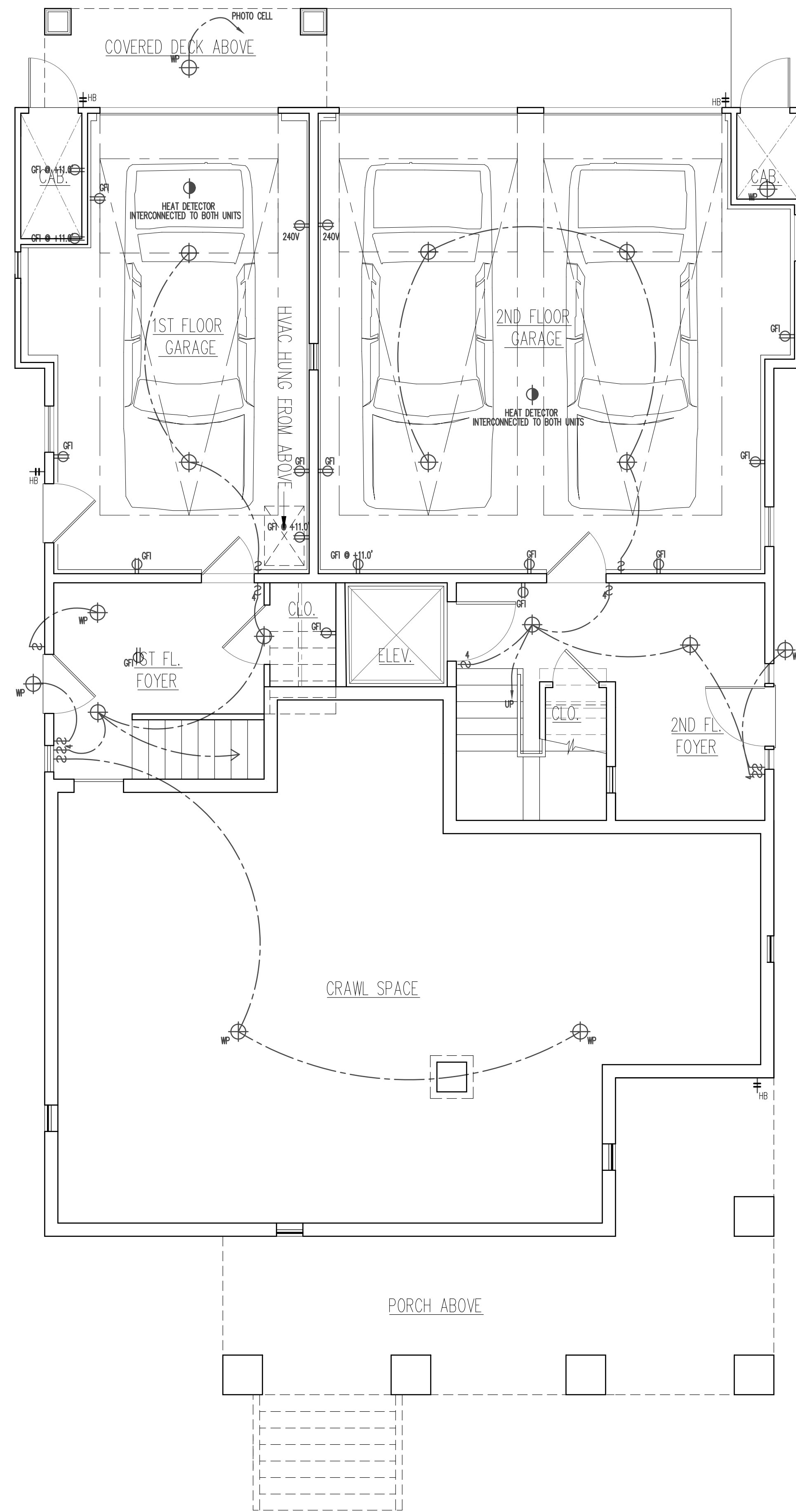
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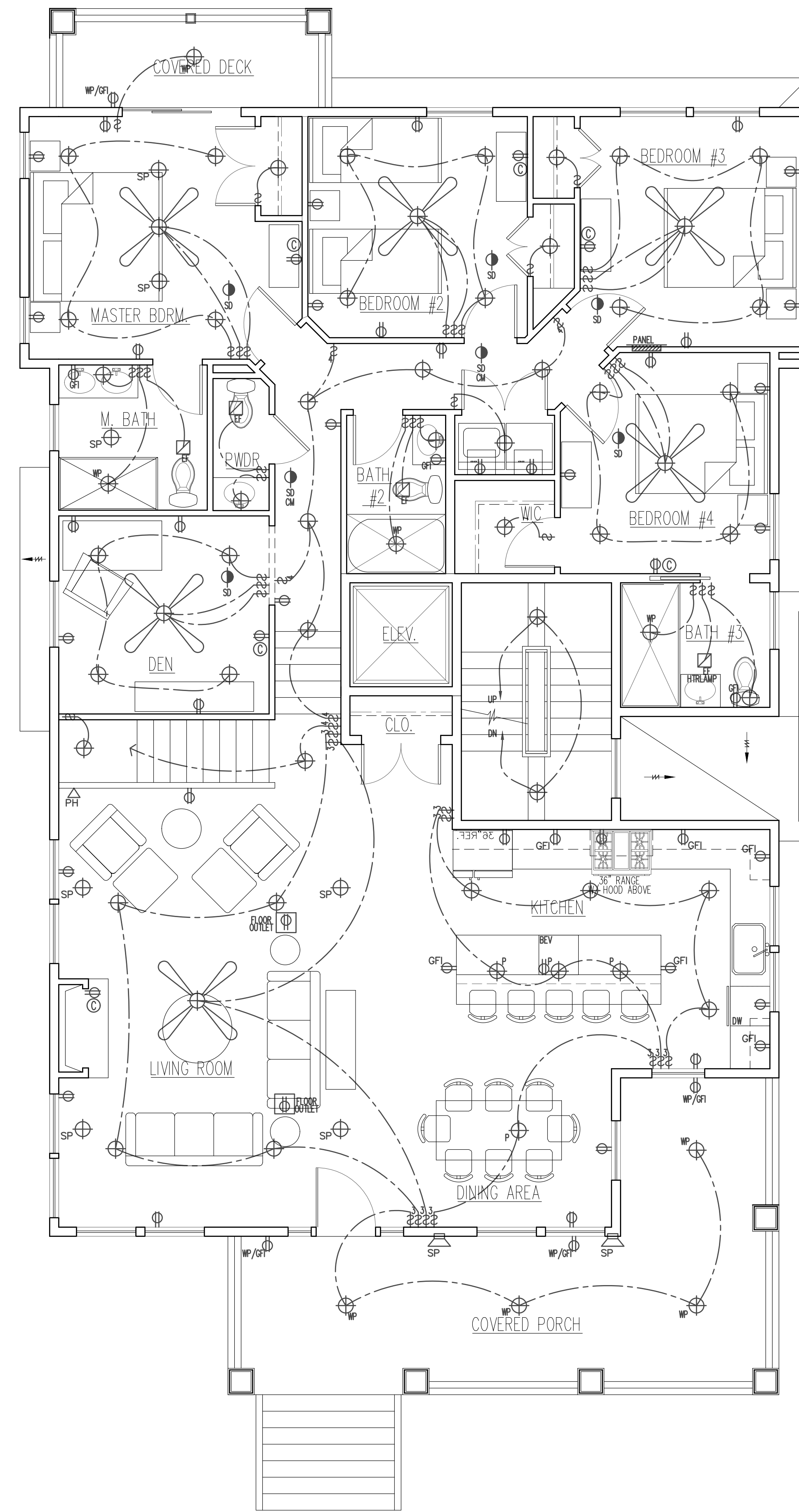
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GROUND FLOOR PLAN

NOTE:
 - ALL CEILING FANS TO HAVE LIGHTS.
 - SD's MUST BE LOCATED MIN OF 36" AWAY FROM TIPS OF FAN BLADES,
 BATHROOM DOORS W/ TUB / SHOWER, & HVAC SUPPLY OUTLETS, TYP.
 - CARBON MONOXIDE ALARMS / DETECTORS, WHERE REQUIRED, SHALL BE
 INSTALLED NO MORE THAN 10'-0" FROM ALL SLEEPING ROOMS



FIRST FLOOR PLAN

NOTE:
 - ALL CEILING FANS TO HAVE LIGHTS.
 - SD's MUST BE LOCATED MIN OF 36" AWAY FROM TIPS OF FAN BLADES,
 BATHROOM DOORS W/ TUB / SHOWER, & HVAC SUPPLY OUTLETS, TYP.
 - CARBON MONOXIDE ALARMS / DETECTORS, WHERE REQUIRED, SHALL BE
 INSTALLED NO MORE THAN 10'-0" FROM ALL SLEEPING ROOMS

ELECTRICAL LEGEND		
ELECTRIC FAN	GFI OUTLET	WALL SPEAKER
CABLE	WATERPROOF GFI OUTLET	FAN
SMOKE DETECTOR	LIGHT	PENDANT LIGHT
SMOKE DETECTOR & CARBON MONOXIDE	WATERPROOF LIGHT	FAN WITH LIGHT
ELECTRIC SWITCH	CHANDELIER	
OUTLET	SPEAKER	

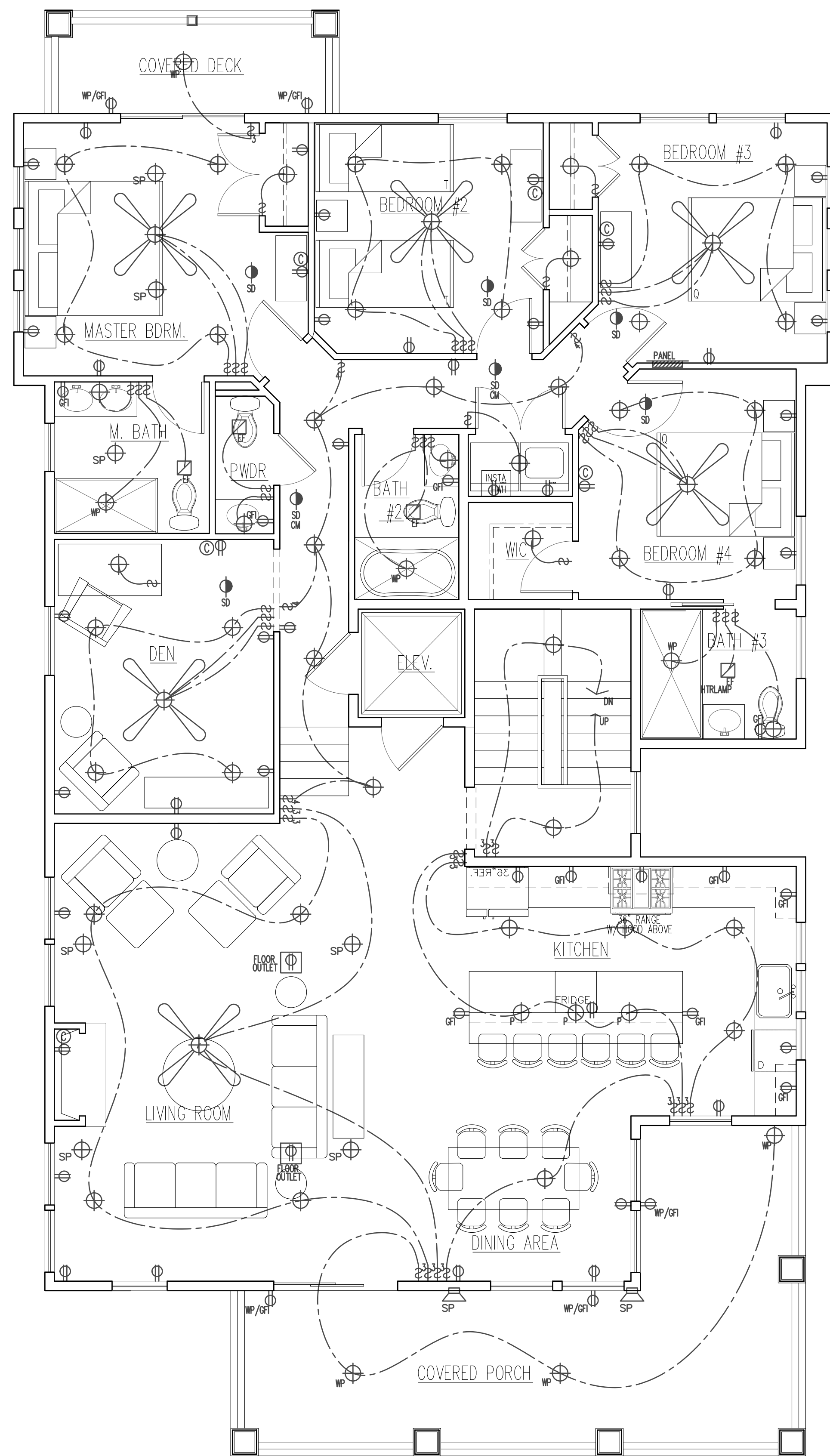
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GROUND & FIRST
 FLOOR ELECTRICAL
 PLANS

THOMAS / BECHTOLD
 ARCHITECTURE & ENGINEERING
 F. (609) 927-3350
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SECOND FLOOR PLAN

NOTE:
 - ALL CEILING FANS TO HAVE LIGHTS.
 - SD'S MUST BE LOCATED MIN OF 36" AWAY FROM TIPS OF FAN BLADES.
 - BATHROOM DOORS W/ TUB / SHOWER, & HVAC SUPPLY OUTLETS, TYP.
 - CARBON MONOXIDE ALARMS / DETECTORS, WHERE REQUIRED, SHALL BE INSTALLED NO MORE THAN 10'-0" FROM ALL SLEEPING ROOMS.

ELECTRICAL LEGEND		
ELECTRIC FAN	GFI OUTLET	WALL SPEAKER
CABLE	WATERPROOF GFI OUTLET	FAN
SMOKE DETECTOR	LIGHT	FAN WITH LIGHT
SMOKE DETECTOR / CARBON MONOXIDE	PENDANT LIGHT	
ELECTRIC SWITCH	WATERPROOF LIGHT	
OUTLET	CHANDELIER	
	SPEAKER	

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SECOND FLOOR
 ELECTRICAL PLANS

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